

June 4, 2014

Gordon Reiselt
Silver Hill Neighborhood Association
1515 Silver SE
Albuquerque, NM 87106

■ Dekker/Perich/Sabatini

Re: Presbyterian Healthcare Services, 1100 Central Avenue SE

Dear Gordon,

This Letter is to inform you that the offices of Dekker/Perich/Sabatini will be submitting an application for an Administrative Amendment to the approved Site Development Plan for Building Permit on or about June 5th, 2014 to the City of Albuquerque Planning Department for review and possible approval. It is our understanding that the City's review process will take a minimum of 15 days from the above mentioned date, whereupon a final decision will be rendered. Comments will be accepted for a period of 14 calendar days from the date of turn in. After that time it will be assumed that all comments have been received and that the City of Albuquerque Planning Department can finalize the processing of this application.

I offer the following based on Condition #6 of the most recent approved Site Development Plan dated 5/5/2006. Condition #6 is stated as follows;

Any substantial changes to or alteration of the building façade architecture shall require and Administrative Amendment of this plan. The applicant shall notify those parties normally required to be notified of a Zoning action under Ordinance 0-92 in the manner prescribed by that Ordinance for the purposes of this condition. "Substantial" is defined as any change in the allocation of building materials (I.E. transposition or replacement of aluminum, glass, or brick) greater than 2% of the building façade under construction.

Scope of proposed work:

1. All work performed will be related to the Operating Room Renovation & Addition and be located on the north facade of the structure, above the existing cafeteria space.
2. The total renovation will be approx 6200 square feet; of which 2400 square feet will be an addition and be visible on the north facade. 62% of all work will be an interior remodel.
3. Existing exterior windows will be removed and new energy efficient aluminum frames and glazing will be installed. Both the frames and glazing will match that used on the East Expansion project and will remain approximately the same size as the demolished window.
4. Exterior finishes will be brick masonry and match the existing brick color and texture as close as possible.

The final application can be reviewed at the City of Albuquerque Planning Department offices located in the Plaza del Sol Building at 600 2nd Street NW. It is advised that you call the Planning Department at 924-3860 to schedule your visit so that the project file will be available upon your arrival.

If you have additional questions or concerns, please feel free to contact me at 505-761-9700, or contact the Planning Department at 924-3860.

Very truly yours,
Dekker/Perich/Sabatini Ltd.



Ted Kostranchuk
Specialist

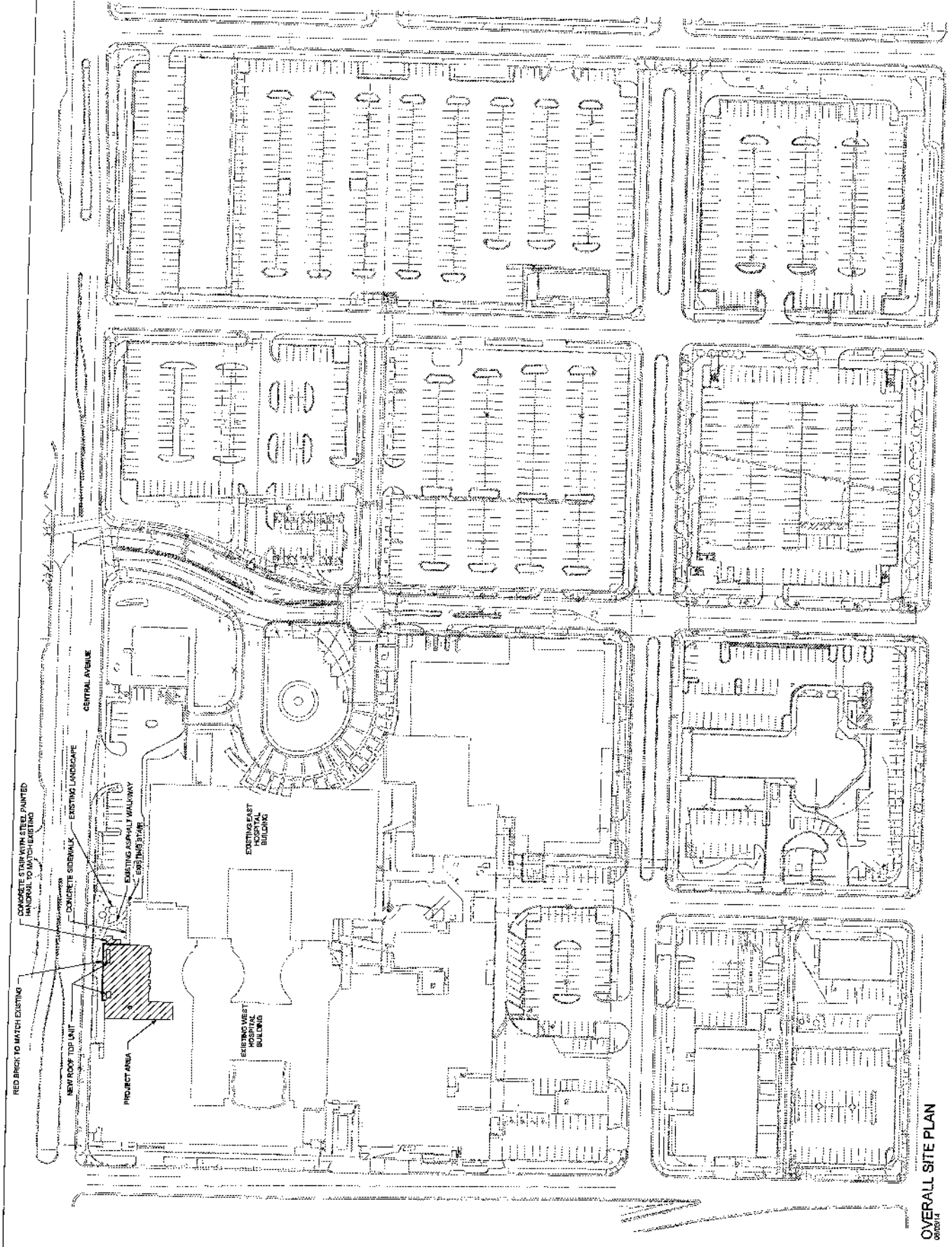
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architecture

interiors

landscape

planning

engineering



RED BRICK TO MATCH EXISTING
CONCRETE STAIR WITH STEEL PAINTED
HANDRAIL TO MATCH EXISTING

NEW ROOF TOP UNIT
CONCRETE SIDEWALK
EXISTING LANDSCAPE

CENTRAL AVENUE

EXISTING ASPHALT WALKWAY
EXISTING DRIVE

EXISTING WEST
HOSPITAL
BUILDING

EXISTING EAST
HOSPITAL
BUILDING

PROJECT AREA

OVERALL SITE PLAN
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Deborah C. Poff